

17-2030. Overlay zones.

West Bank Resilient Community Overlay

Purpose

The purpose of this Overlay District is to establish regulations that can accommodate anticipated growth while maintaining development quality and protecting the existing rural character. The overlay is established to meet the following purposes:

- To implement the residential growth priorities, rural character preservation goals, and infrastructure coordination strategies of the adopted 2025 West Bank Small Area Plan.
- To provide a voluntary, incentive-based regulatory framework that allows increased residential density and development flexibility in exchange for measurable community benefits, enhanced design quality, resiliency measures, and infrastructure coordination.
- To facilitate much-needed housing production in an area that will experience significant employment growth from recent industrial investment.
- To preserve the rural landscape of the West Bank through conservation subdivision design standards that protect open space and natural drainage features.
- To guide commercial corridor development along primary corridors in a manner that is coordinated and compatible with adjacent residential areas.
- To prioritize node-based commercial development at intersections rather than strip development along the full corridor, through access management, landscaping, and site design guidelines that improve the visual quality of the West Bank's major roadways.
- To create a clear and predictable review process that reduces uncertainty of development within the Overlay.

Applicability & Map Boundaries

The Overlay shall apply to all non-heavy industrial zoned, unincorporated lands within the West Bank of Ascension Parish as depicted on the official Ascension Parish General Map, under the Zoning District's category. The map and boundaries will be maintained on file

with the Ascension Parish Planning Department. Any changes to the map and boundaries shall require an amendment through the rezoning process. In the event of a conflict between text metes and bounds and map, the map shall control boundary confirmation.

Within the overall Overlay boundary, three Tier Areas are established as shown on the Official Map:

TIER 1	Residential Growth Area. Applied to lands in proximity to existing infrastructure, employment centers, and established neighborhoods where residential growth at increased density is appropriate. Participation in Tier 1 incentives is fully voluntary.
TIER 2	Commercial Area. Applied to lands along primary transportation corridors where commercial and mixed-use development is anticipated. Standards under Tier 2 include both mandatory design regulations within the Highway 3127 corridor nodes and optional incentive components.
TIER 3	Conservation Subdivision District. Applied to larger rural parcels where preservation of open space and rural character is the primary goal. Conservation Subdivision design is an optional alternative to conventional subdivision layout.

Permitted Uses

All uses permitted, conditionally permitted, or prohibited in the applicable underlying base zoning district shall retain their status under this Overlay, except as specifically modified below. This Overlay does not create new use permissions independent of the base zoning district unless expressly stated.

Prohibited Uses

The following uses shall be prohibited throughout the Overlay boundary:

- Heavy industrial uses, as defined in the Unified Land Development Code and within the HI Heavy Industrial zoning category.
- New billboards
- New Mobile Home/Recreation Vehicle Subdivisions

General Incentive Eligibility

Any major residential subdivision or conservation subdivision in the appropriate Tiers may elect to participate in the incentives. A developer or property owner who does not elect to participate in the density bonus shall develop in accordance with the standards of the base zoning district and all other applicable provisions of the Unified Land Development Code. The commercial corridor design regulations are mandatory.

Projects for which a preliminary subdivision plat or building permit has been issued prior to Overlay adoption are not eligible for the overlay incentives.

Traffic Impact Analysis Requirements

A developer or property owner may opt to choose a modified Traffic Impact Analysis (TIA) Threshold. The modified threshold for requiring a Traffic Impact Analysis within the Overlay may match the Louisiana Department of Transportation and Development threshold of 100 peak hour trips in lieu of the thresholds at the Parish level outlined in Table 17-4060.1

Traffic Impact Analysis submittal requirements based on Threshold Type. Below are the modified TIA thresholds for within the Overlay:

TIA Submittal Requirements	Threshold 1	Threshold 2
	Less than 40 peak hour trips, AM or PM	40 or more peak hour trips, AM or PM
Parish TIA	No	Optional. Based on TIF paid
Transportation Impact Fee (TIF)	35%	With TIA= 35% Without TIA= 100%

Nothing in this modified threshold shall prohibit the Planning Director, their designee, and/or the Engineering Review Agency from requiring a full Traffic Impact Analysis upon finding that site-specific conditions warrant additional traffic analysis, regardless of trip generation volume. This determination will be made following the pre-application meeting.

Traffic Impact Fees

Should the modified traffic impact analysis Threshold 2 be used along with the option of submitting no TIA, West Bank impact fees will be increased from the 35% as outlined in section 19-51: *Establishment of transportation impact fees* of the Code of Ordinances to 100 %. Traffic impact fees will be due at the time of the issuance of a certificate of occupancy instead of the building permit issuance.

Residential Incentive and Density Bonus Structure

Level 1 Incentive Eligibility Requirements: To be eligible for a Level 1 Incentive, an applicant must commit to providing a Level 1 community benefit as specified below. These commitments shall be shown as conditions on the preliminary plat as approved by the planning commission and recorded on the final plat or other recorded instruments such as a developer's or community benefits agreement.

Level 1 residential density bonus shall allow up to 5 units per acre, with a minimum lot size of 8,000 square feet, with one of the following Level 1 Community Benefits which include:

- Increased open space
- Landscaped buffers and street trees,
- or incorporation of five (5) residential subdivision design elements

Details are listed below in the Community Benefits Description.

Level 2 Incentive Eligibility Requirements: Level 2 residential density bonus shall allow up to 6 units per acre and a minimum lot size of 7,000 square feet, with incorporation of all Level 1 Community Benefits.

Level 3 Incentive Eligibility Requirements: Level 3 residential density bonus shall allow up to 7 units per acre and a minimum lot size of 6,000 square feet, with all of the Level 1 community benefits plus one of the following Level 2 Community Benefits which include:

- Regional Detention, or
- Developer installed, oversized main sewer trunk lines subject to reimbursement contracts as appropriate.
- Age restricted community of 55 and older

Level 1 Community Benefits Description

Applicants seeking the Level 1 density bonus shall provide at least one (1) of the following:

Increased Open Space Requirements

A minimum of ten percent (10%) of contiguous site area shall be designated as common open space. Open space shall be maintained in perpetuity through a Homeowners Association, a dedicated public easement, or dedication to the Parish.

Open space shall not include required parking areas, driveways, or building footprints. Stormwater or utility areas may only count towards open space when also providing

recreational amenities such as a pedestrian or bicycle path, or other amenities approved by the Planning Director or their designee. All (100%) of the required open space shall be accessible to all residents of the development.

Landscape Buffers and Street Trees

Landscaped buffers of not less than fifteen (15) feet in width along all arterial street frontages, planted with native, class A trees at intervals not exceeding forty (40) feet on center and an understory of shrubs and groundcover meeting the Parish landscape standards.

Street trees installed at intervals not exceeding forty (40) feet on center along all internal public street frontages, with a minimum caliper of two (2) inches at time of planting.

Residential Subdivision Design Elements

The applicant shall select and commit to applying a minimum of five (5) design elements from the following list. Selected elements shall be noted on the approved site plan and shall be binding on all phases of development:

Design Element	Description
Covered front porches	Minimum 6-foot depth and extending a minimum of 60% of the primary structure frontage on units facing a public street
Architectural variation	No two adjacent units shall have identical front elevations; at least 3 distinct elevation plans required per block face
Enhanced masonry	Minimum 25% masonry or fiber cement cladding on all front elevations
Garage setback	Attached garages set back minimum 5 feet from primary front elevation
Rear or side loaded garages	All garages accessed from rear lane, or side load, eliminating garage-dominant street facades

Design Element	Description
Enhanced neighborhood entry features	Decorative entry gates, masonry columns, or monumentation at subdivision entrances
Neighborhood lighting	Decorative pedestrian-scale, shielded, down lighting along internal streets
Mailbox clusters	Centralized mailbox clusters with pedestrian plaza and seating area
Canopy tree preservation	Preservation of healthy trees 18 inches DBH or greater
Permeable paving	Permeable paving materials serving at least 25% of vehicular use areas (parking stalls only)
Other design elements	Other neighborhood/residential design elements may be approved by the Planning Director or their designee

Level 2 Community Benefits

Applicants seeking the Level 3 density bonus shall provide at least one (1) of the following:

Regional Detention

The applicant shall participate in a regional stormwater detention facility serving the West Bank by one of the following methods, subject to review and approval by the Ascension Parish Planning Department in coordination with the Ascension Parish Drainage Department:

- Dedication of land sufficient to serve as a regional detention basin for the applicable watershed, as determined by a Parish-approved drainage study.
- Construction of a regional detention facility in accordance with Parish standards, sized to serve not only the proposed development but contributing acreage identified in the regional detention drainage study.
- Payment of a proportionate fair-share contribution to a regional detention fund, in an amount established by the Parish based on the project's impervious surface

contribution to the drainage basin, provided a regional detention district or developers agreement is in place.

Oversized Sewer Trunk Installation

The applicant shall, at its own cost, design and install a sewer trunk main sized to serve not only the proposed development but future development within a service area identified in coordination with the City of Donaldsonville. The oversized trunk main shall be dedicated to the City of Donaldsonville upon final inspection. A cost-sharing or reimbursement agreement may be negotiated for the cost differential between a project-sized main and the oversized main, subject to Parish Council and City of Donaldsonville approval.

Age-Restricted Community

The applicant shall record a legally binding age restriction covenant limiting occupancy of the development to households in which at least one member is 55 years of age or older, in compliance with the Housing for Older Persons Act (HOPA) and applicable state law. Such covenant shall be recorded on the final plat prior to the issuance of any occupancy and shall run with the land for a minimum of thirty (30) years.

Density Bonus Structure Table

Density Bonus Level	Max Density	Min Lot size	Minimum Setbacks & Street Frontage	Required Community Benefit
Level 1	5 homes/acre	8,000 Sq Ft	Front: 25' Side: 5' Rear: 20' Street Frontage: 60'	Provide one (1) Level 1 Community Benefit: increased open space; or landscaped buffers and street trees; or five (5) residential subdivision design elements.
Level 2	6 homes/acre	7,000 Sq Ft	Front: 25' Sides: 5' Rear: 20' Street frontage: 50'	Provide all Level 1 Community Benefits: increased open space; landscaped buffers and street trees; and five (5) residential subdivision design elements.
Level 3	7 homes/acre	6,000 Sq Ft	Front: 25' Sides: 5' Rear: 20' Street frontage: 50'	Provide all Level 1 Community Benefits, plus one (1) Level 2 Community Benefit: regional detention; developer-installed oversized sewer trunk lines; or an age-restricted community for persons 55 years of age or older.

Conservation Subdivision Standards

Purpose and Intent

The Conservation Subdivision design option is available as a voluntary alternative to conventional subdivision design for the Conservation zoning district within the Overlay boundary. The purpose of the Conservation Subdivision design is to preserve the rural character, natural landscape, agricultural context, and ecological features of the West Bank while allowing reasonable residential development through flexible design standards. The intent of the conservation subdivision standard is to:

- Reduce infrastructure costs
- Preserve natural drainage systems
- Limit development in floodplains
- Protect wetlands
- Preserve historic sites
- Reduce fragmentation of farmland
- Maintain scenic road corridors
- Provide interconnected open space
- Preserve tree stands

Applicability

The Conservation Subdivision Overlay shall apply only to property located within the Conservation Subdivision Overlay District and zoned Conservation (C).

Development under the Conservation Subdivision Overlay shall be voluntary. An applicant may elect to develop property in accordance with the underlying zoning district regulations or utilize the Conservation Subdivision standards established in this Article.

A Conservation Subdivision may be established only on contiguous tracts meeting the following minimum acreage requirements:

1. A minimum of **35 acres** where development is served by individual on-site sewage treatment systems.
2. A minimum of **20 acres** where development is served by a centralized sanitary sewer system approved by the Parish.

The Conservation Subdivision option shall be available only for major residential subdivisions. It shall not apply to minor subdivisions, family partitions, or lot line adjustments.

Design Standards

Conservation Subdivision			
Spatial Criteria	Existing Conservation Zoning	Conservation Subdivision on private sewage	Conservation Subdivision on centralized sewer
Minimum Site area	n/a	35 acres	20 acres
Minimum lot width	100 ft	100 ft	75 ft
Minimum lot size	43,560 sf	20,000 sf	10,000 sf
Maximum density	1 unit/acre	2 unit/acre	4 unit /acre
Minimum front yard	25	25	20
Minimum side yard	10	10	7
Minimum rear yard	20	20	15
Common Open Space percentages	n/a	60%	50%

Required Open Space and Conservation Easement

All open space preserved through the Conservation Subdivision process shall be protected by a recorded, perpetual conservation easement held by Ascension Parish, a qualified land trust, or a Homeowners Association with Ascension Parish named as a third-party beneficiary. The conservation easement shall:

- Prohibit construction of structures, impervious surfaces, or fill within the conservation open space, except as permitted by the easement for accessory agricultural uses, trails, and drainage management activities.
- Run with the land in perpetuity and bind all successors in interest.
- Be recorded in the Ascension Parish property records prior to or concurrent with the recordation of the final subdivision plat.

Agricultural Uses in Conservation Areas

Where the primary conservation area includes active agricultural land, the conservation easement shall permit continuation of existing agricultural uses, including crop production and pasture, provided such activities do not require filling, clearing of existing natural vegetation, or construction of permanent structures within the conservation easement area.

New agricultural structures accessory to residential use (e.g., barns, equipment storage) may be permitted within the conservation easement with Parish approval, subject to setback standards

Site Plan Requirement

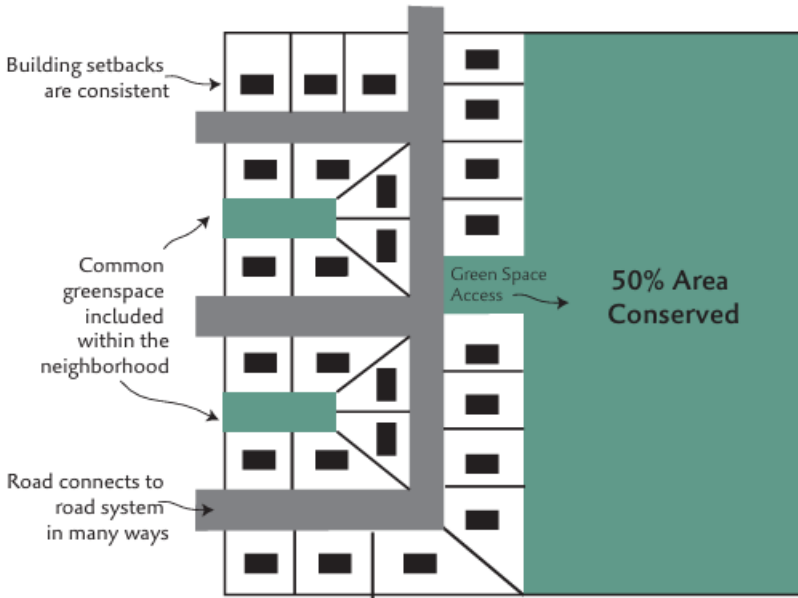
Conservation Subdivision site plans shall follow a four-step design process:

- Step 1 Identify conservation areas: Map all primary conservation areas (floodplains, wetlands, existing vegetation, drainage features, scenic viewsheds) and secondary conservation areas (agricultural land, significant upland habitat, trail connections).
- Step 2 Locate building sites: Identify potential house sites within the non-conservation portions of the parcel, considering setbacks, access, solar orientation, and views. All Final Flood Elevations shall be set on CDs and Final Plat.
- Step 3 Align streets and any trails: Design the internal street networks and any trail connections to serve the building sites, while opening access to the open space, and minimizing impacts to conservation areas.
- Step 4 Draw lot lines: Delineate individual lot boundaries around the building sites, ensuring all lots meet the spatial criteria, have adequate access to open spaces, and meet setback requirements.

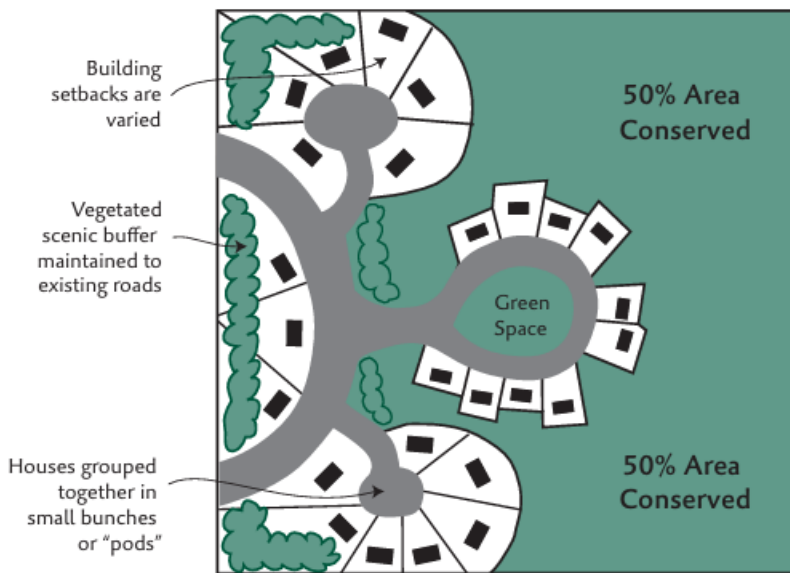
The applicant shall calculate the allowable housing density based on the underlying zoning and the availability of sewer. Residential lots may be clustered in one or more compact development areas designed to preserve the largest practical amount of contiguous open space and agricultural land while minimizing infrastructure needs.

Example Layout

Rural Town Layout



Rural Pod Layout



Site Plan Contents and Administrative Review Procedures

Conservation subdivision review procedures shall follow the subdivision regulation process outlined in Subdivision Regulations 17-401 (*Procedures, process, and checklist*), but with the additional 4-step design process. The 4-step design process maps must be stamped by a Louisiana licensed landscape architect.

Commercial

Purpose

The purpose of the Commercial overlay regulations is to strengthen the physical and economic character of the Commercial areas within the Overlay. The intent is to promote and encourage consistent quality of design along the new Highway 3127 Corridor and along Highway 3089.

Relationship to Commercial Zoning

Where a conflict exists between these Overlay Standards and the base zoning, these Overlay Standards shall control. The Highway 3127 Corridor Standards apply in addition to the standards of the applicable base zoning district (Crossroad Commercial, Mixed Use, Mixed Use 2, or Light Industrial, as applicable).

Base Zoning District	Permitted Along Corridor	Notes
Crossroad Commercial (CC)	Yes — primary commercial node district	Preferred at node locations; disperses commercial throughout parish
Mixed Use (MU)	Yes — most intensive corridor district	Allows multi-family; appropriate on larger parcels at nodes
Mixed Use 2 (MU2)	Yes — moderate-intensity commercial	Compatible with adjacent residential; appropriate between nodes
Light Industrial (LI)	Yes — industrial-support uses permitted	Appropriate from John Folse Service Road to Highway 3127 near existing industrial areas
Medium Industrial	No- prohibited in corridor	Appropriate from John Folse Service Road to Highway 3127, near existing industrial

		areas but not appropriate at nodes
Heavy Industrial (HI)	No — prohibited throughout Overlay	

Building Placement

Primary Frontage: Buildings shall be located on the primary street frontage, as determined by the Planning Director or their designee. Buildings proposed on a corner lot or a lot with frontages on multiple streets, the Planning Director or their designee shall determine the primary street frontage considering the following:

- (1) The street classification of all streets;
- (2) The prevailing orientation of other buildings in the area;
- (3) The length of the block face on which the building is located; and,
- (4) The location of any alley.

Building setbacks

Standard	Requirement
Minimum front setback	15 feet from front property line and landscape requirements
Side setback — abutting commercial or industrial use	5 feet minimum
Side setback — abutting residential use	Per base zoning district; landscape buffering required
Rear setback	Per base zoning district, landscape buffering required abutting residential use

Site Design

Parking Areas

Side and rear parking are incentivized and encouraged. Developments with multiple buildings or larger footprints shall be designed with internal circulation that allows customers to access parking from the side or rear of buildings where feasible.

Drive-through lanes, loading areas, and service access shall be located to the side or rear of the building, not between the building and the highway right-of-way, except where the Planning Director or their designee finds that site geometry makes side/rear location infeasible.

Front parking is permitted between the building and the highway right-of-way, provided it is limited to a maximum of one (1) double loaded parking bay (two rows of parking spaces with a single drive aisle) in front of the principal building. All front parking shall be screened with an evergreen hedge as outlined in the landscaping requirement portion of this overlay.

Landscaping, Buffering and Screening

All commercial developments with frontage on Highway 3127 shall install and maintain Class A street trees along the full length of their highway frontage, within the required setback area or in a landscape easement between the right-of-way and the building, subject to LADOTD requirements for landscaping within or adjacent to the right-of-way.

Requirement	Standard
Minimum canopy tree spacing	One (1) tree per 40 linear feet of highway frontage
Minimum caliper at planting	2 inches measured 6 inches above grade
Species requirement	Class A, Louisiana-native or naturalized, non-invasive
Placement	Within the planting strip of the required 15-foot setback. No plantings are allowed within sight triangles at driveways or intersections.

Front Parking Lot Screening

All parking areas visible from Highway 3127 shall be screened from the highway right-of-way with a continuous hedge, or landscaped berm meeting the following minimum standards:

- Minimum height of screening at maturity: three (3) feet.
- Species shall be native or naturalized species, evergreen, and provide year-round screening
- Gaps for pedestrian access, driveway openings, and sight triangles are permitted, but otherwise screening shall be continuous.
- Screening shall be maintained at all times. Diseased, dead, or missing plant material shall be replaced within sixty (60) days.

Excess Parking Landscaping Requirements

Parking lots constructing more than 125% of the required minimum shall provide interior landscaping in accordance with the following minimum standards

- One (1) Class A tree shall be provided for every ten (10) parking spaces.
- Interior landscape islands shall be a minimum of nine (9) feet wide (inside curb face) and shall extend the full length of the parking space (18 feet minimum).
- A minimum of 10% of the parking and vehicular use area shall be landscaped.

Screening of Utilities, Dumpsters, and Drive-Throughs

The following site elements shall be screened from public rights-of-way and adjacent residential properties:

- Dumpsters and any solid waste enclosures shall be screened on three sides with a masonry wall or wood fence not less than six (6) feet in height, with a gate on the open side. No dumpster shall be visible from Highway 3127.
- Ground-mounted mechanical equipment and utility meters shall be screened from public view with shrubs, decorative fencing, or other opaque screening.
- Drive-through lanes shall be screened from residential uses and public rights-of-way with a landscape planting strip not less than six (6) feet in width, planted with evergreen shrubs to a minimum height of three (3) feet at maturity.
- Outdoor storage of any kind shall not be visible from Highway 3127. Screening walls, fencing, or a solid, six (6) foot evergreen landscaped buffer shall be provided where outdoor storage is a feature of the use.

Buffering Adjacent to Residential Uses

Where a commercial or industrial development within the overlay abuts a residential use or residentially zoned parcel, a landscape buffer not less than fifteen (15) feet in width shall be provided along the shared property line. The buffer shall include:

- A row of Class A trees planted at intervals not exceeding thirty (30) feet on center.
- A continuous evergreen shrub screen, minimum three (3) feet in height at planting and minimum six (6) feet at maturity. Alternately, wood fencing may be used in lieu of an evergreen shrub
- No parking, access drives, loading areas, dumpsters, utilities or drainage features shall be located within the buffer.

Alternative Parking

The existing commercial parking standard of one (1) space per 250 square feet of gross floor area (equivalent to 4 spaces per 1,000 square feet) applies uniformly to all commercial uses in Ascension Parish, regardless of commercial use category.

Developments in the commercial corridor may use alternative parking standards to address individual development needs. These alternative parking standards shall be the use of the Institute of Transportation Engineers (ITE) guidelines for parking ratios and the Urban Land Institute (ULI) for shared parking agreements. The Planning Director or their designee, and the Engineer Review Agency will review any alternative parking arrangements.

The table below provides ITE examples and parking requirements based on use categories and examples.

Use Category	Examples	Required Spaces per 1,000 sq ft GFA*	ITE Basis
General Retail	Clothing stores, dollar stores, apparel, hardware	3.0 spaces	ITE LUC 820/850 range: 2.5–3.5
Grocery / Food Sales	Grocery stores, supermarkets	3.0 spaces	ITE LUC 850: ~3.5
Bank / Financial	Banks, credit unions	3.0 spaces	ITE LUC 912: ~3.0
Restaurant — Fast Food (w/ drive-through)	QSR, fast food	8.0 spaces	ITE LUC 934: 5–12 range
Restaurant — Sit-Down	Casual dining, full service	6.0 spaces	ITE LUC 932: ~5–7

Restaurant — High-Intensity/Full Bar	Large full-service with bar	10.0 spaces	ITE LUC 932 upper range
Office	Professional, medical, general office	3.5 spaces	ITE LUC 710: ~3.5
Light Industrial / Warehouse	Equipment rental, storage, industrial support	1.5 spaces	ITE LUC 110/150
Hotel / Motel	Per room basis	1.0 space per room	ITE LUC 310
Mixed-Use Center (multi-tenant)	Strip center with varied tenants	Planning Director determination using ITE mix	Blended rate per tenant mix

**Excludes storage areas, halls, and restrooms.*

Lighting

All exterior lighting for commercial development along Highway 3127, including parking lot lighting, building-mounted lighting, and signage lighting, shall be full-cutoff, downward-directed fixtures that prevent light spillover onto adjacent properties or into the night sky.

Lighting Height Limits

Location	Maximum Pole Height
Parking lot lighting — interior	25 feet above finished grade
Parking lot lighting — perimeter (adjacent to residential)	15 feet above finished grade
Building-mounted lighting	Height of eave or top of parapet, not to exceed 25 feet
Canopy lighting (gas stations, drive-throughs)	Recessed within canopy; no exposed light source

Where a commercial parking area or service area is located within 75 feet of a residential property line, parking lot pole lighting within that zone shall not exceed fifteen (15) feet in height, and all fixtures shall be full-cutoff with a zero-degree tilt.

Signage

Signage standards for the Highway 3127 corridor are intended to provide commercial identity and visibility while avoiding the visual clutter associated with a proliferation of uncoordinated sign sizes. The corridor's status as a new highway with largely undeveloped frontage provides an opportunity to establish a coherent sign environment from the outset.

Sign Types

Signage along Highway 3127 is governed by the Ascension Parish Sign Ordinance, which shall apply to all commercial development within the corridor. The following signs are the only types of signage allowed in the commercial corridor:

- Awning signs;
- Canopy signs;
- Monument signs;
- Suspended signs;
- and Wall signs

Size of Signage

One (1) monument sign per lot or development is permitted. Monument signs shall be limited to a maximum of seven (7) feet in height with a maximum of thirty-two (32) square feet of sign area. An additional monument sign may be permitted for a development with more than one public street frontage or more than one primary vehicular entrance.

All other signs shall be no larger than one square foot of sign per linear foot of building along a primary street frontage, with a minimum allowance of 32 square feet. For example, a commercial development with 100 feet of street frontage is allowed 100 square feet of wall signage. The linear calculations must apply to the combined area of all signs, and not per sign.